

Application Number:
(office use only)

Property ID:
(office use only)

Development Application

APPLICATION FOR (tick which is applicable)

- ☒ Planning Permit *Flinders Planning Scheme 1994 (amended 2000)*
☐ Certificate of Likely Compliance
☐ Building Permit (complete Form 2)
☐ Plumbing Permit (complete Form 3)
☐ Special Plumbing Permit (Complete Form 3A & proved details)

SECTION A

DETAILS OF APPLICANT (note: the applicant name will appear on any public notice and/or permit issued)

Name **Markarna Grazing Company Pty Ltd**

Address **100 Section Road, Greenvale Victoria 3059 Australia**

Phone **+61 3 9333 2400**

Email **cynthia.adams@adamsgroup.com.au**

Is the above person also the land owner?

☒ Yes (go to section C)

☐ No (if No, complete section B)

SECTION B

DETAILS OF LAND OWNER

Name **As above**

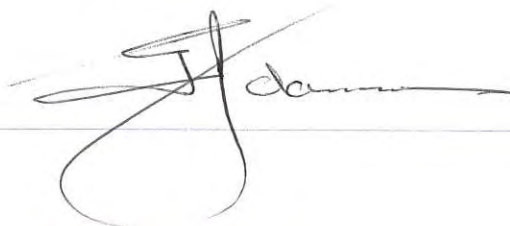
Address

Phone

Email

Where the applicant is NOT the owner, I hereby declare that the owner of the land to which this application relates has been notified of this application being made and the information and details supplied by me in this application are a true and accurate description of the proposal.

Applicant's signature



Date **16.7.2018**

SECTION C**DETAILS OF THE LAND**Property name **Markarna Park**Address of land **368 FIVE MILE JIM RD MEMANA TAS 7255****210063/1, 200102/1, 200482/1, 6375/1, 236447/1,**Title references **118511/1 and CID1476890**Title details attached? ☒ **Y****SECTION D****DETAILS OF THE PROPOSED DEVELOPMENT**Proposed use of development **Quarry (incl blasting/drilling) and a crushing/concrete batch plant**New building area (m²) **NA**Land area (m² or Ha) **25 hectares**External wall colours **NA**Roof colour **NA**Project price **\$65,000****SECTION E****DETAILS OF PERSONS ENGAGED TO CARRY OUT WORKS****Building Surveyor** (complete if Council not engaged for this work)Name **CC number**

Address

Phone **Email****Designer/Architect**Name **CC number**

Address

Phone **Email****Builder** (or see declaration below)Name **CC number**

Address

Phone **Email**If Owner Builder; declaration form must be signed and attached. Is this attached? ☐**Plumber**Name **CC number**

Address

Phone **Email**

SECTION F**DETAILS OF PLUMBING WORK** (tick appropriate box)

- ☐ Special Plumbing Permit
- ☐ Form 59 provided
- ☐ Form 59 pending
- ☐ Storm water
- ☐ Internal Plumbing

PLUMBING DECLARATION (if applicable)

I agree that I will engage a registered plumber to carry out the plumbing work in accordance with the *Building Act 2000*, the *Plumbing Regulations 2004* and the Tasmanian Plumbing Code.

Name _____

Signature _____

Date _____

SECTION G**PRIVACY STATEMENT**

The personal information requested on this form is being collected by Council for *Land Use Planning & Approvals Act 1993*, *Building Act 2000*, *Building Regulations 2004* & *Plumbing Regulations 2004*. The personal information will be used solely by Council for that primary purpose or directly related purpose. Council may disclose the information to other regulatory organisations where required to by law; officers of Flinders Council; data service providers engaged by Council from time to time; and any other agent of Council.

If you cannot provide or do not wish to provide the information sought, Flinders Council will be unable to process your application.

You may make application for access or amendment to information held by Council. Enquiries concerning the matter can be addressed to the General Manager, Flinders Council, PO Box 40, Whitemark TAS 7255, or email office@flinders.tas.gov.au

SECTION H**DECLARATION OF APPLICANT**

I hereby declare my intention to seek the relevant approvals as detailed within this form

Name GEORGE ADAMS

Signature _____

I hereby declare that I support the submission of the details provided on this form and provide my signature as the relevant delegate for Crown or Council land in accordance with s52 (1B) of *Land Use Planning and Approvals Act 1993*

Name GEORGE ADAMS

Signature _____

NB: - The Role of the Planning Authority

When an application is deemed to be determined at a meeting of Council, the Councillors act in the role of the Planning Authority. They are required to uphold the requirements of the local Planning Scheme (Flinders Planning Scheme 1994) and also that of LUPAA (*Land Use Planning and Approvals Act 1993*). When Councillors are fulfilling this role they must act in a non-biased manner and in accordance with Council's Quasi-Judicial Policy. If you wish to approach a Councillor regarding your development you may be placing them in a compromised position in their role as Planning Authority if your development proposal is currently submitted to Council. To prevent this you may wish to address Council prior to your submission or during the Council Meeting at which your proposal is being deliberated. If you wish to arrange for such meetings, please contact Council's Development Services department to arrange.

DEVELOPMENT APPLICATION

SUPPORTING INFORMATION

**QUARRY AND CRUSHER/CONCRETE BATCH PLANT,
MARKARNA PARK, FIVE MILE JIM ROAD, FLINDERS ISLAND**



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ATTACHMENTS

Attachment 1	Land Titles
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ABBREVIATIONS / GLOSSARY

DPIPWE	Department of Primary Industries, Parks, Water and Environment
EMPCA	<i>Environmental Management and Pollution Control Act 1994 (Tas)</i>
FC	Flinders Council
LUPAA	<i>Land Use Planning and Approvals Act 1993 (Tas)</i>
MPQ	Markarna Park Quarry
QCP	<i>Tasmanian Quarry Code of Practice 2017</i>

PART A – BACKGROUND INFORMATION

The development and use (quarry and concrete batch plant) is located on private freehold land accessed via Five Mile Jim Road in the Flinders Island Municipality (Figures 1, 2A and 2B).

A.1 PROPOSED ACTIVITY

The activity is comprised of two related activities –

1. Quarry – extraction of rock and gravel; and
2. Crusher/Concrete Batch Plant – the area designated for the crushing/screening of material sourced from the quarry, and the installation and operation of a concrete batch plant.

The two ‘development’ areas and the respective Land Titles for the development and use are shown in Figure 2A. An existing ‘on farm’ road will be used to access the quarry from the crusher/concrete batch plant as shown in Figure 2B. This same road will be used to haul extracted material to the crusher/concrete batch plant.

The quarry has existed (see Figure 2C-1) for some time, being a pit from which previous landowners have extracted material. Some material has historically been used by Council for road maintenance. The crusher/concrete batch plant is located on the same property as the quarry and is a large pad area access by the haul road from the west and a road that connects the use and development to Five Mile Jim Road (see Figures 2C-2 and 3).

The **Quarry** will include the extraction of material in the following manner:

- surface site preparation by vegetation and soil removal and stockpiling;
- excavation of material with a bulldozer and/or excavator;
- occasional stockpiling of material in the pit area (most will be ‘hot loaded’ into trucks for delivery and storage at the crusher/concrete batch plant);
- occasional drilling and blasting (perhaps once per annum) to liberate harder rock and/or boulders;
- loading trucks with wheel loader from the pit face and/or stockpile area; and the
- transport of materials by truck to the Crusher/Concrete Batch Plant for storage, processing (crushing/screening) and /or use in concrete mixing.

The **Crusher/Concrete Batch Plant** will (or already does) include the following infrastructure and activities -

- sediment pond and drains, water source with pump;
- crusher pad for crushing unit;
- concrete batch plant and associated water tanks;
- weighbridge to accurately measure concrete inputs;
- pad for 3-phase generator;
- small office building (mobile) for the storage of paperwork and files;
- raw rock material and crushed rock material stockpiles;
- storage pad for 40ft shipping container for the storage of cement;
- machinery parking area;
- access road from the quarry (enters from the west); and
- ingress and egress to Five Mile Jim Road.

The **Crusher/Concrete Batch Plant** will require the following inputs (excluding gravel from the quarry/crusher) for the making of concrete –

- 40 tonnes cement per annum (delivered to the site in one 40 ft container);
- Sand sourced from the island (200 tonnes – 20 truckloads at 10 tonne per load per annum);
- Water (sourced from an on-property dam).

About 10% of gravel/rock sourced from the quarry per annum will be used in the production of concrete. The remainder will be used for road/track construction and repairs and laneways on properties owned by the proponent.

None of the rock/gravel or concrete produced by the activity will be sold.

A.2 PROPONENT

The proponent, Markarna Grazing Company Pty Ltd, owns and operates large pastoral enterprises on Flinders island.

The contact details for the company and contact person are –

Markarna Grazing Company Pty Ltd

ABN - 11 082 820 760

Address: 100 Section Road, Greenvale Victoria 3059 Australia

Phone: +61 3 9333 2400

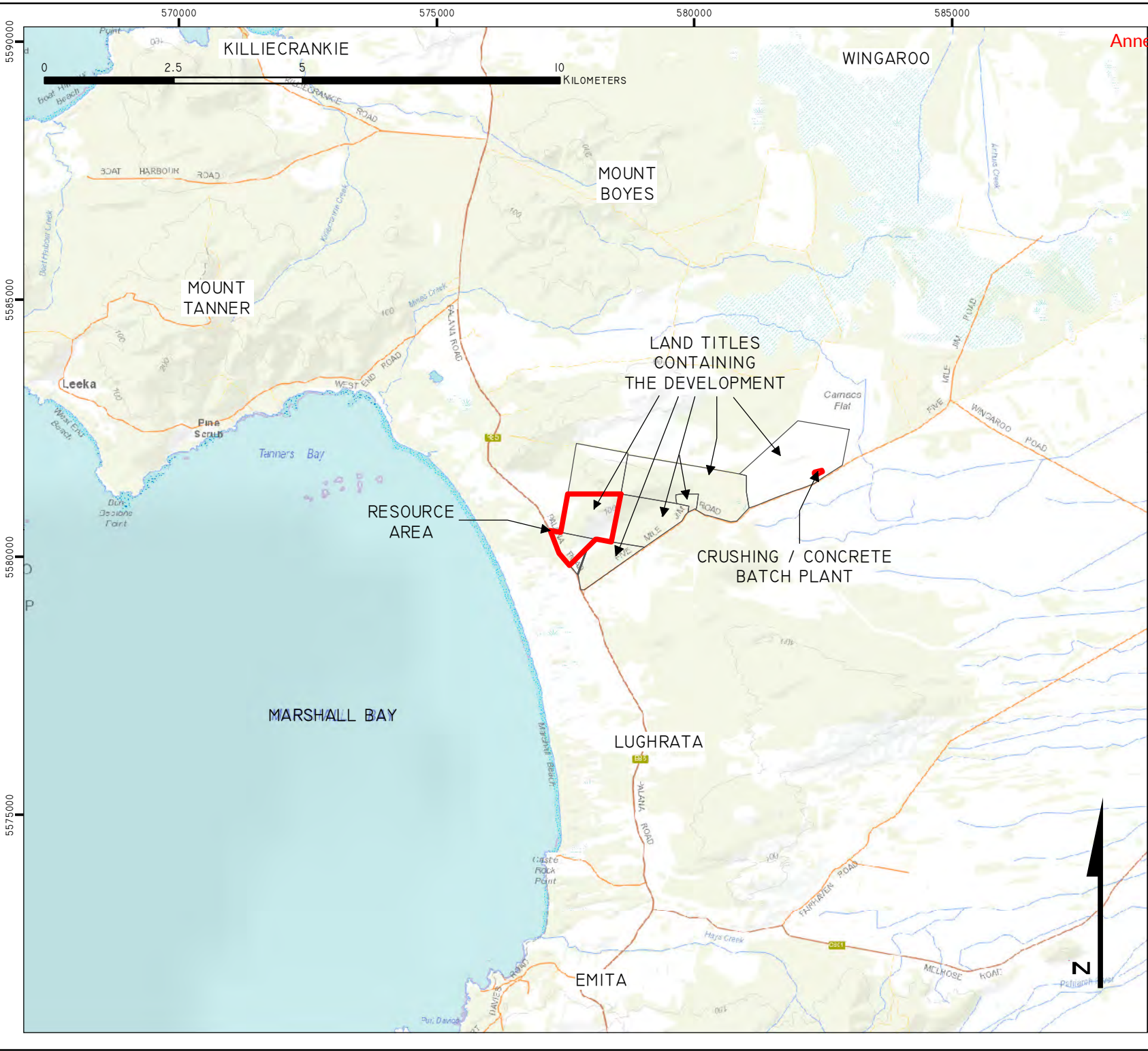
Fax: +61 3 9 333 1258

A.3 QUARRY AND CRUSHER/CONCRETE BATCH PLANT LAND DETAILS

Land Titles – 210063/1, 200102/1, 200482/1, 6375/1, 236447/1, 118511/1 and CID1476890

Planning Zones (*Flinders Planning Scheme 2000*) – Rural

Special Areas (*Flinders Planning Scheme 2000*) – Nil



Annexure 5A - A1 - October 2018

MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

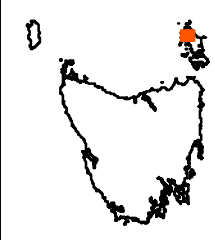
FIGURE I: LOCATION OF
MARKARNA PARK QUARRY

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
FLINDERS

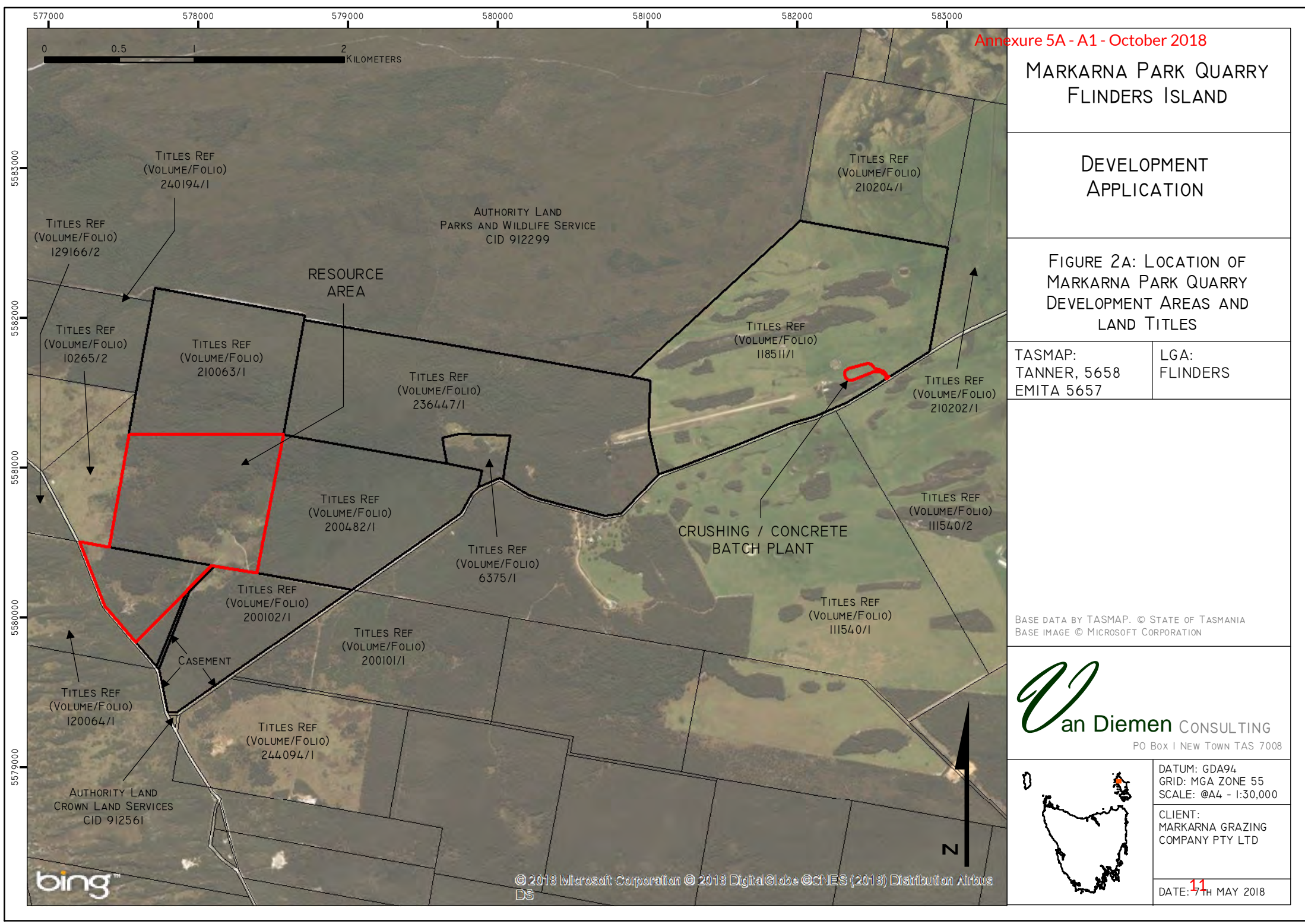
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 **an Diemen CONSULTING**
PO Box 1 NEW TOWN TAS 7008



DATUM: GDA94
GRID: MGA ZONE 55
SCALE: @A4 - 1:100,000
CLIENT:
MARKARNA GRAZING
COMPANY PTY LTD

DATE: 7th MAY 2018



577000 578000 579000 580000 581000 582000 583000

0 0.5 1 2 KILOMETERS

TRACK LINE CONNECTING DEVELOPMENT
AREAS OCCURS ON TITLES:

210063/1
200102/1
200482/1
6375/1
236447/1
118511/1 AND
CID 1476890 (CASEMENT)

RESOURCE
AREA

ON PROPERTY
TRACK LINE
CONNECTING
DEVELOPMENT
AREAS (EXISTING)

CRUSHING / CONCRETE
BATCH PLANT

EXISTING
RUNWAY
(PRIVATE)

Annexure 5A - A1 - October 2018

MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

FIGURE 2B: ON PROPERTY
TRACK CONNECTING
MARKARNA PARK QUARRY
DEVELOPMENT AREAS

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
FLINDERS

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GRID: MGA ZONE 55
SCALE: @A4 - 1:30,000

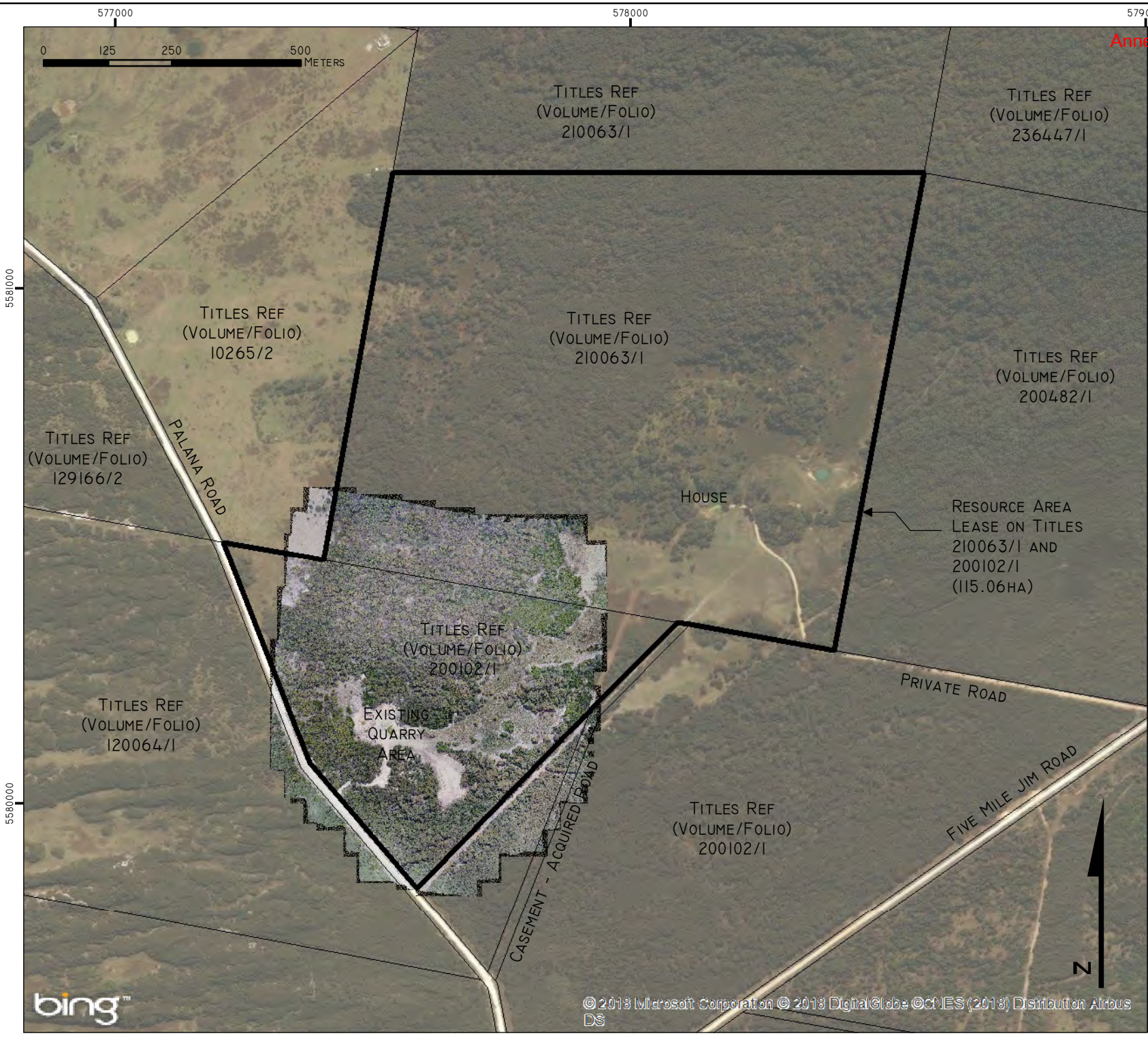
CLIENT:
MARKARNA GRAZING
COMPANY PTY LTD

DATE: 7th MAY 2018

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Annexure 5A - A1 - October 2018

MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

FIGURE 2c-I: LOCATION OF
MARKARNA PARK QUARRY
WESTERN DEVELOPMENT AREA

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
FLINDERS

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DATUM: GDA94
GRID: MGA ZONE 55
SCALE: @A4 - 1:10,000
CLIENT:
MARKARNA GRAZING
COMPANY PTY LTD

DATE: 7th MAY 2018



Annexure 5A - A1 - October 2018

MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

FIGURE 2C-2: LOCATION OF
MARKARNA PARK QUARRY
EASTERN DEVELOPMENT AREAS
(CRUSHER/CONCRETE BATCH PLANT)

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
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DATUM: GDA94
GRID: MGA ZONE 55
SCALE: @A4 - 1:2,000

CLIENT:
MARKARNA GRAZING
COMPANY PTY LTD

DATE: 14TH MAY 2018

TITLES REF
(VOLUME/FOLIO)
118511/1



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0 0.5 1 2 KILOMETERS

TRACK LINE CONNECTING DEVELOPMENT
AREAS OCCURS ON TITLES:

210063/1
200102/1
200482/1
6375/1
236447/1
118511/1 AND
CID 1476890 (CASEMENT)

RESOURCE
AREA

QUARRY
LOCATION

TRUCK MOVEMENT
BETWEEN QUARRY AND
CRUSHING SITE IS VIA
EXISTING ON PROPERTY
ROAD SYSTEM (PUBLIC
ROADS NOT USED)

ROAD ACCESS/ GATE TO
CRUSHING / CONCRETE
BATCH PLANT

CRUSHING / CONCRETE
BATCH PLANT

ACCESS (FOR CRUSHED PRODUCT)
TO MARKARNA PARK PROPERTY
(CROSSING FIVE MILE JIM ROAD)

LOOKING WEST FROM
ACCESS TO CRUSHING
/ CONCRETE BATCH PLANT

LOOKING EAST FROM
ACCESS TO CRUSHING
/ CONCRETE BATCH PLANT

Annexure 5A - A1 - October 2018

MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

FIGURE 3: TRUCK MOVEMENTS
BETWEEN RESOURCE AREA AND
CRUSHING SITE AND TRANSPORT OF
PRODUCT TO MARKARNA PARK

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
FLINDERS

BASE DATA BY TASMAP. © STATE OF TASMANIA
BASE IMAGE © MICROSOFT CORPORATION

Van Diemen CONSULTING
PO Box 1 NEW TOWN TAS 7008



DATUM: GDA94
GRID: MGA ZONE 55
SCALE: @A4 - 1:30,000

CLIENT:
MARKARNA GRAZING
COMPANY PTY LTD

DATE: 7th MAY 2018

PART B - PROJECT DESCRIPTION

The activity is comprised of two parts –

1. Quarry – extraction, stockpiling and truck loading of rock and gravel; and
2. Crusher/Concrete Batch Plant – the area designated for the crushing/screening of rock/gravel material sourced from the quarry, and the installation and operation of a concrete batch plant.

The quarry will supply gravel/rock to the concrete batch plant (which will also have a crusher/screen unit associated with it).

B.1 QUARRY

B.1.1 Extraction Limit

The maximum extracted volume is 4,999 cubic metres per annum, of which up to 1,000 cubic metres per annum may be crushed/screened (a vibratory screen may be used).

B.1.2 Extraction Methods

The extraction activity will entail the following:

- surface site preparation by vegetation and soil removal and stockpiling;
- excavation of material with a bulldozer and/or excavator;
- occasional stockpiling of material in the pit area (most will be 'hot loaded' into trucks for delivery and storage at the crusher/concrete batch plant);
- occasional drilling and blasting (perhaps once per annum) to liberate sections of harder rock and/or boulders;
- loading trucks with wheel loader from the pit face and/or stockpile area; and the
- transport of materials by truck to the Crusher/Concrete Batch Plant for storage, processing (crushing/screening) and /or use in concrete mixing.

The approximate layout of the pit at year 10 (based on the maximum annual extraction of 4,999m³) is shown in Figure 5B-1, with cross-sections at various years of extraction shown in Figures 5C-1, C-2 and C-3.

B.1.3 Operating hours

Operating hours for the quarry are those recommended in the Tasmanian *Quarry Code of Practice 1999* – 0700 to 1900 hrs Monday to Friday, 0800 to 1600 hrs on Saturday; closed on Sunday and public holidays.

Most truck movements are projected to occur between 0700 and 1800 hrs on Monday to Friday with low volume movements after that time (ie. from 1800 to 1900 hrs after which time the pit will close as per the proposed operating hours). Trucks may access the quarry on Saturday between the hours of 0800 and 1600.

B.1.4 Equipment

The following equipment and machinery are likely to be used in the operation -

- 1 x Kobelco SK200 excavator;
- 1 x Caterpillar D6R bulldozer;
- 1 x JCB 426 loader;
- 2 x 10 yarder trucks; and/or
- 2 x trucks with pig trailers carrying 17.6 cubic metres each.

As new machinery becomes available, or old machinery needs to be replaced, the make and model numbers will change as is the case for any extractive activity.

B.1.5 Access Road

Access will be from an internal property road from Five Mile Jim Road as shown in Figure 3. This access road already exists. Trucks and machinery will not access the quarry from Palana Road (see Figure 5A).

B.1.6 Layout

The approximate proposed layout of the pit is shown in Figure 5B-1.

Infrastructure

Sediment ponds are already present, as too are cut-off drains that direct water to these from the perimeter of the pit.

Stockpiled material will be stored adjacent to the active pit for truck loading.

Amenities

No toilets, showers or office are proposed.

B.1.7 Resource/Extraction Areas

The area from within which material may be extracted as part of the quarry activity is shown in Figure 5B-2.

B.1.8 Vegetation Removal and Management

The removal of vegetation will only occur as the area is required for pit expansion or the establishment of specific infrastructure, such as a cut-off drain, stockpile location etc.

The management of vegetation removed for access to the resource will be in accordance with the QCP.

B.1.9 Topsoil Removal and Management

The topsoil will be stripped, excavated and stockpiled in bunds to (i) channel water away from the active quarry face and (ii) to direct water flowing within the pit into a series of drains and then into a sediment pond. The topsoil will be managed to prevent significant weed incursions and may be planted with a pasture species mix to minimise the risk of erosion and dust and to assist with excluding weeds.

The management of topsoils removed for access to the resource will be in accordance with the QCP.

B.1.10 Traffic Movements

The crusher/concrete batch plant is located on the same property as the quarry and is a large pad area access by the haul road from the west and a road that connects the use and development to Five Mile Jim Road (see Figures 2C-2 and 3).

Traffic movements for 4,999 cubic metre per annum production will consist of light vehicles at a maximum of two per day (4 movements) and haulage trucks to collect material for transport to the concrete batch plant/stockpile area. The trucks will be up to 30 tonnes capacity. Based a 2.6 t/m³ conversion ratio the volume equates to approximately 13,000 tonnes – about 430 truckloads of material hauled from the quarry to the crusher/concrete batch plant per annum.

B.2 CONCRETE BATCH PLANT**B.2.1 Production Limit**

The volume of concrete produced per annum would not exceed 150 cubic metres.

B.2.2 Production Methods

The extraction activity will entail the following:

- surface site preparation by vegetation and soil removal and stockpiling;
- excavation of material with a bulldozer and/or excavator;

- occasional stockpiling of material in the pit area;
- loading trucks with wheel loader from the pit face and/or stockpile area; and the
- transport of materials by trucks ranging from 12 to 30 tonne capacity.

The approximate layout of the pit at year 10 (based on the maximum annual extraction of 4,999m³) is shown in Figure 5B-1, with cross-sections at various years of extraction shown in Figures 5C-1, c-2 and C-3.

B.2.3 Operating hours

Operating hours will be 0700 to 1900 hrs Monday to Friday, 0800 to 1600 hrs on Saturday; closed on Sunday and public holidays.

Most truck movements onto Five Mile Jim Road to deliver rock/crushed rock and/or concrete to those lands owned by the proponent are projected to occur between 0700 and 1800 hrs on Monday to Friday and Saturday between the hours of 0800 and 1600 with low volume movements after that time (ie. from 1800 to 1900 hrs after which time the pit will close as per the proposed operating hours).

B.2.4 Equipment

The following equipment and machinery are likely to be used in the operation -

- 3-phase generator;
- Rock crushing unit powered by the 3-phase generator;
- Pump (petrol/diesel operated) for water to the concrete batch plant;
- Concrete batch plant (mobile);
- 1 x JCB 426 loader;
- 2 x 10 yarder trucks; and
- 2 x trucks with pig trailers carrying 17.6 cubic metres each.

As new machinery becomes available, or old machinery needs to be replaced, the make and model numbers will change.

B.2.5 Layout and Infrastructure

The Crusher/Concrete Batch Plant will (or already does) include the following infrastructure and activities -

- sediment pond and drains, water source with pump;
- crusher pad for crushing unit;
- concrete batch plant and associated water tanks;
- weighbridge to accurately measure concrete inputs;
- pad for 3-phase generator;
- small office building (mobile) for the storage of paperwork and files;
- raw rock material and crushed rock material stockpiles;
- storage pad for 40ft shipping container for the storage of cement;
- machinery parking area;
- access road from the quarry (enters from the west); and
- ingress and egress to Five Mile Jim Road.

B.2.6 Concrete Inputs to Site

The making of concrete will require the following inputs (excluding the aggregate which will be sourced from the quarry/crusher) –

- 1 x 40 tonnes of cement (1 shipment of a 40 ft shipping container) per annum;
- Sand sourced from the island (200 tonnes per annum – 20 truckloads at 10 tonne per load);
- Water (sourced from an on-property dam).

B.2.7 Vegetation and Topsoil Removal and Management

There is no vegetation or topsoil to be stripped at the crusher/concrete batch plant location.

B.2.8 Access Road

Access is from an existing access onto Five Mile Jim Road as shown in Figure 3.

B.2.9 Traffic Movements*General Activities*

Light vehicles will access the quarry and crusher/concrete batch plant from Five Mile Jim Road. Light vehicles accessing the property specifically to attend the quarry or crusher/concrete batch plant could be up to 4 per day (8 movements per day).

Rock/Gravel Deliveries

Based on a 2.6 tonne/metre³ conversion ratio the volume of 4,999 cubic metres equates to approximately 13,000 tonnes. About 10% of this would be used to produce concrete, leaving about 11,700 tonnes. This equates to about 390 truckloads (based on 30 tonne capacity trucks) or 780 movements. Over 200 haul days that is about 4 truck movements per day.

Most truck movements to deliver gravel/rock to other properties owned by the proponent would be onto Five Mile Jim Road, while some would be on the land upon which the concrete batch plant is located.

Concrete Deliveries

A maximum production of 150 cubic metres would require 30 truck movements (assuming 5 cubic metre loads) to transport the material to the place where it will be used. Most of these truck movements would be onto Five Mile Jim Road, while some would be on the land upon which the concrete batch plant is located.

As noted above, one truck delivery will occur per annum for the 40-foot shipping container delivering cement and 20 truckloads at 10 tonne per load for sand (the concrete batch plant needs 200 tonne per annum).

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0 0.5 1 2 KILOMETERS

Annexure 5A - A1 - October 2018

MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

FIGURE 4A: ZONE MAP - FLINDERS PLANNING SCHEME 2000

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
FLINDERS

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PO Box 1 NEW TOWN TAS 7008



DATUM: GDA94
GRID: MGA ZONE 55
SCALE: @A4 - 1:30,000

CLIENT:
MARKARNA GRAZING
COMPANY PTY LTD

DATE: 7TH MAY 2018

ENVIRONMENTAL MANAGEMENT RECREATION ZONE
(FLINDERS PLANNING SCHEME 2000)

CRUSHING / CONCRETE
BATCH PLANT

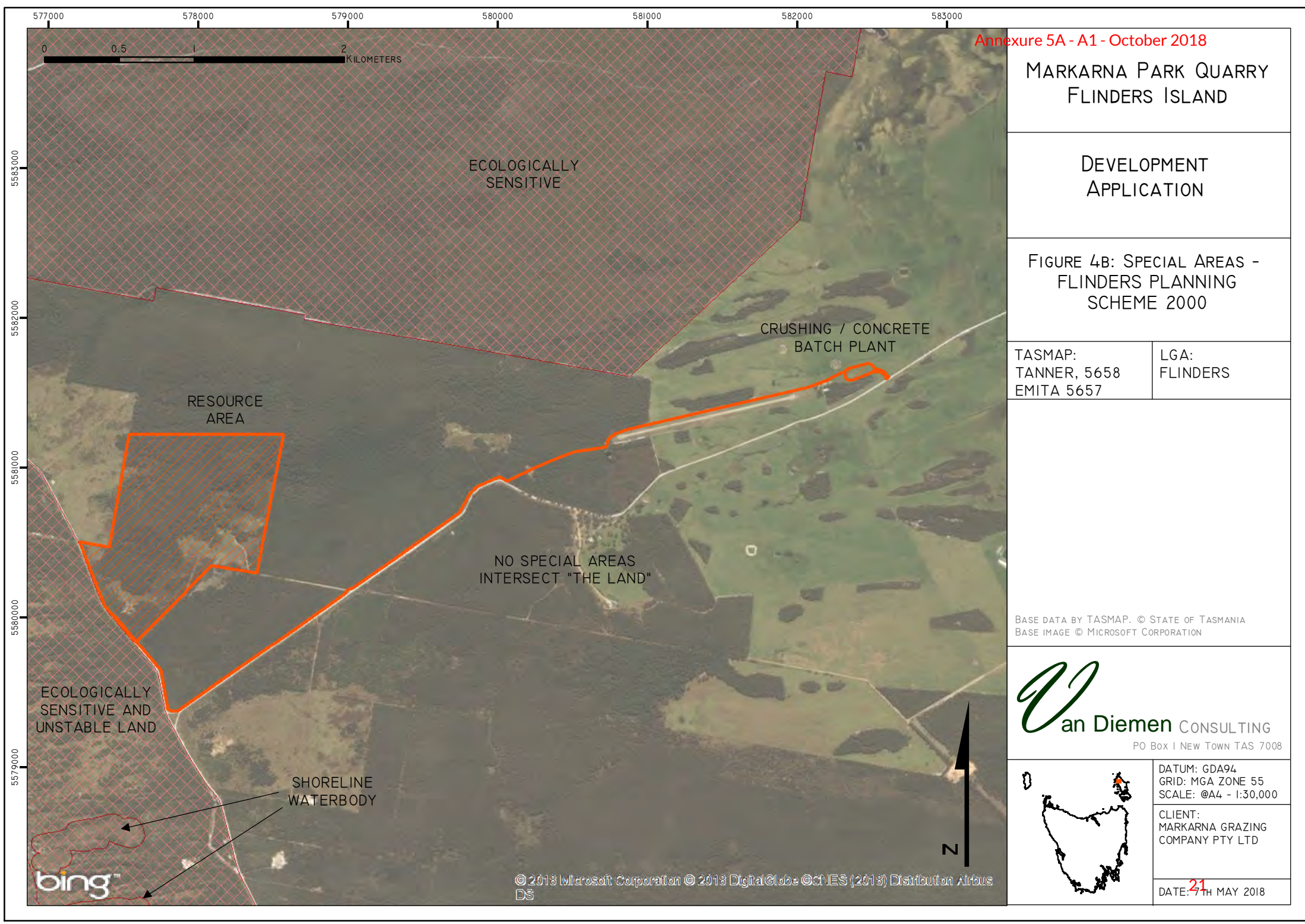
RESOURCE
AREA

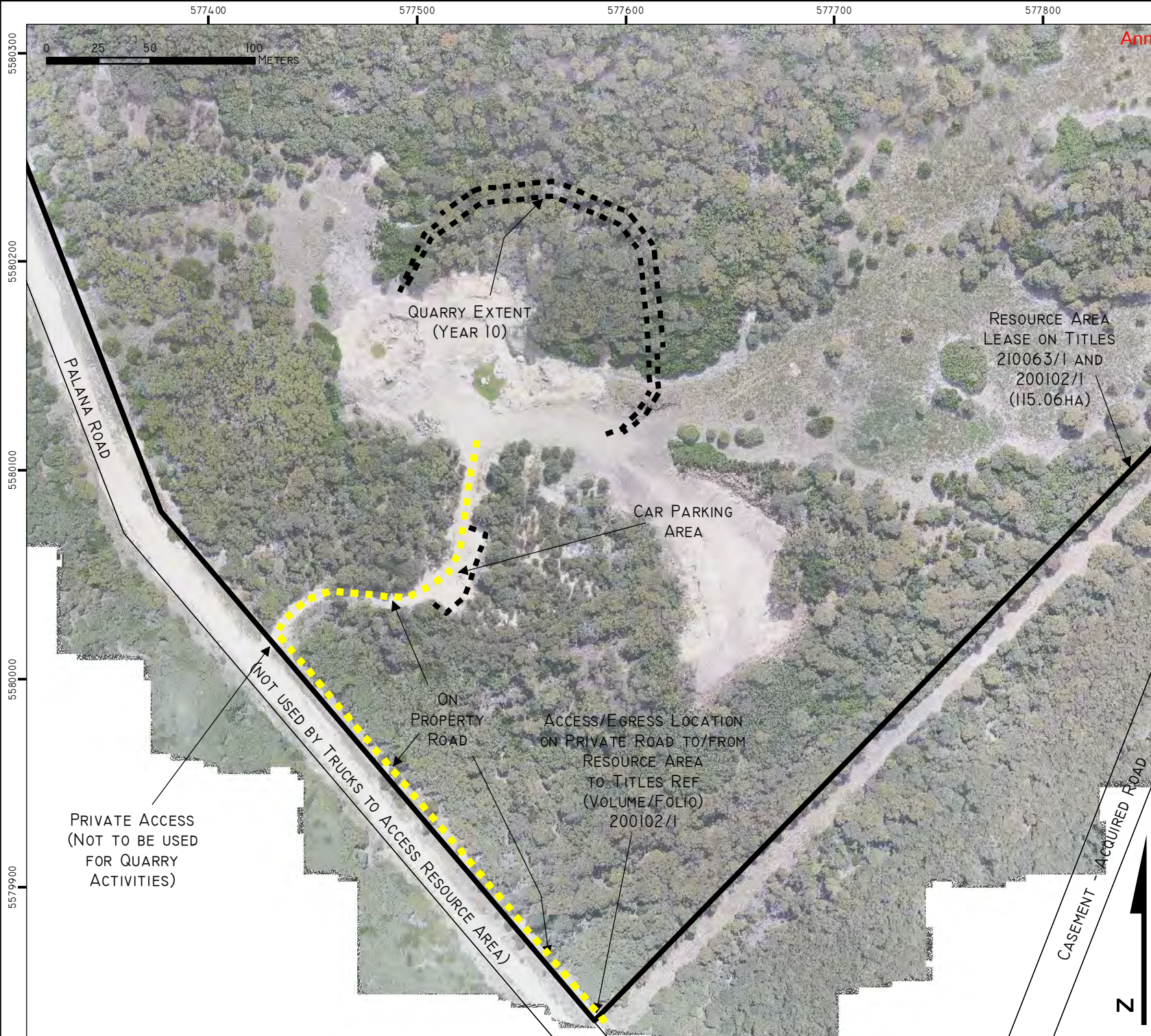
RURAL ZONE
(FLINDERS PLANNING
SCHEME 2000)

bing™

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Annexure 5A - A1 - October 2018

MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

FIGURE 5A: MINE PLAN
(ACCESS AND EGRESS)

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
FLINDERS

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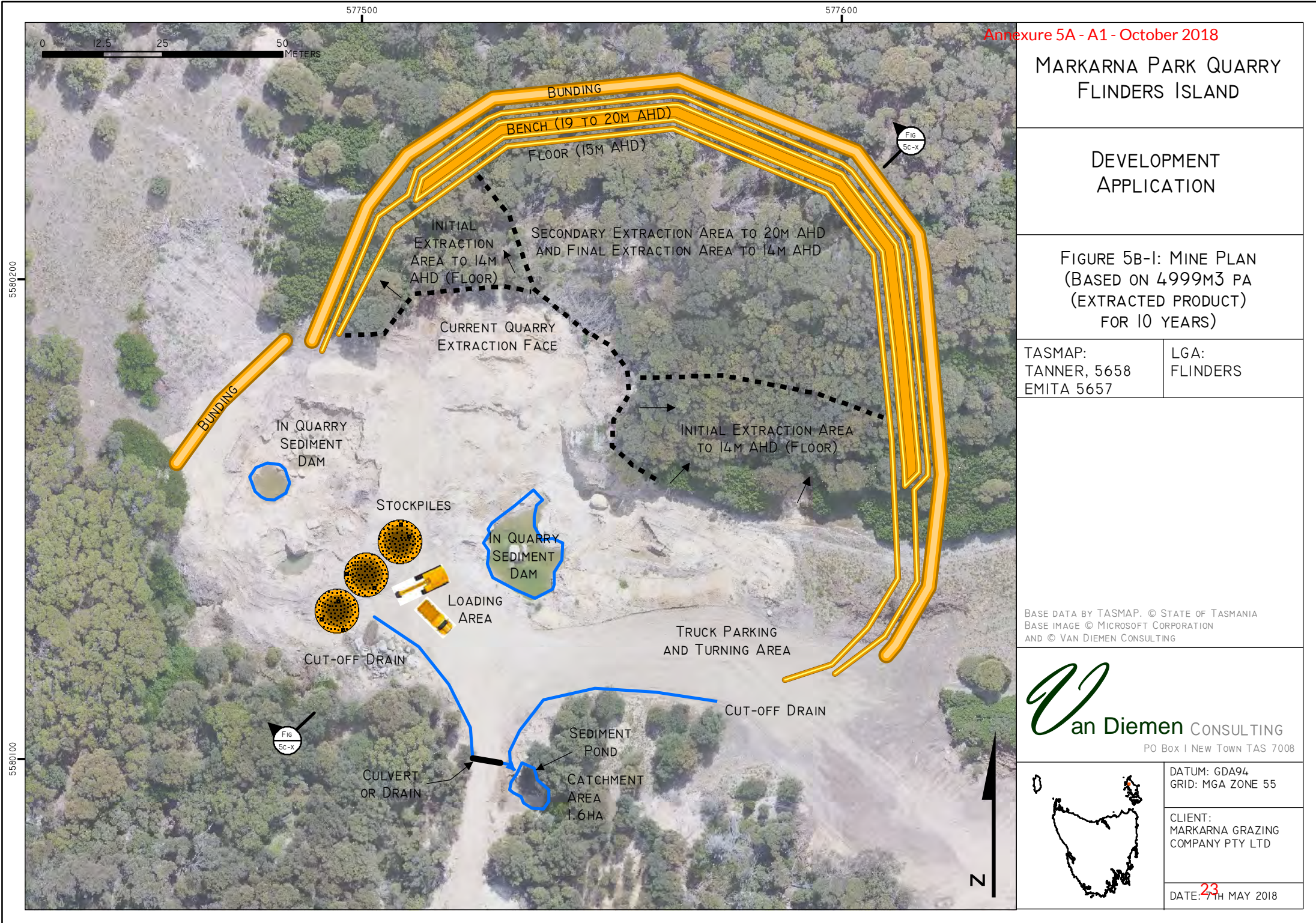
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MARKARNA PARK QUARRY FLINDERS ISLAND

DEVELOPMENT APPLICATION

FIGURE 5B-2: MINE PLAN
EXTENT OF EXTRACTION
ACTIVITIES WITHIN
RESOURCE AREA

TASMAP:
TANNER, 5658
EMITA 5657

LGA:
FLINDERS

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